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## Description

These luxury three-storey three-bedroom seafront homes form part of an exclusive development of five contemporary properties on Brighton Road in Lancing. Each house offers bright, high-specification interiors, including open-plan living spaces, Quartz-topped kitchens with premium appliances, three well-proportioned bedrooms and deluxe bathrooms. Private roof terraces, integral garages and landscaped south-facing gardens make the most of the uninterrupted coastal views.

Energy-efficient features such as underfloor heating, an air source heat pump, mechanical ventilation and solar panels ensure modern, sustainable living. Positioned between Shoreham-by-Sea and Lancing village centre, the development provides direct beach access alongside excellent transport links and local amenities - delivering a rare blend of luxury, convenience and true seafront living.

Plots 1 & 5 - Three Beds = 173.4sqm / 1,867sq.ft

## Key Features

- High End New Build House
- Stunning Sea Views
- South Facing Gardens
- Solar panels for Energy Efficiency
- Bathrooms with Premium Furniture by Sonas
- Choice of Three Bedroom Houses
- Off Road Parking & Integral Garage
- Underfloor Heating, Powered by an Air Source Heat Pump
- Balcony with Views
- Premium Kitchen with Neff Appliances

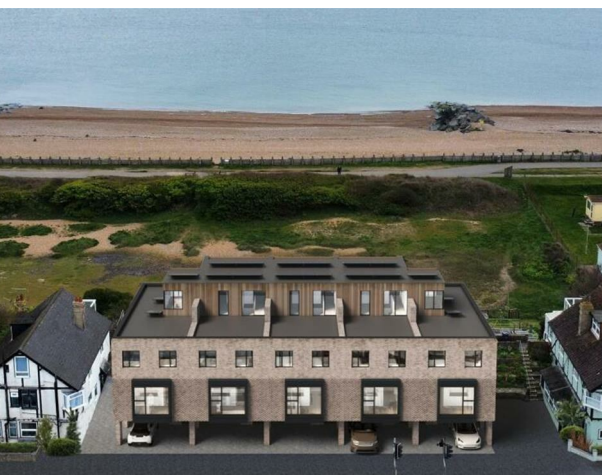


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### Location

Perfectly positioned on Brighton Road in Lancing, this exclusive development sits between the vibrant coastal community of Shoreham-by-Sea and the convenient amenities of Lancing village centre. The location offers the ideal blend of tranquillity and accessibility, with the beach quite literally on the doorstep and everyday essentials just moments away.

Residents can enjoy easy access to local cafés, shops and transport links, while Shoreham's popular waterside eateries, independent boutiques and lively harbour area are only a short stroll or cycle away. Lancing village centre provides further shopping, dining and services, along with excellent rail connections to Brighton, Worthing and London.

With the South Downs rising behind and the coastline stretching out in front, this is a rare setting that combines seafront living with superb convenience — a perfect balance of coastal calm and connected living.

### Inside

These three-bedroom homes offer an exceptional blend of contemporary design, luxury finishes and thoughtfully planned living spaces arranged over three beautifully crafted floors.

The ground floor opens with a spacious entrance hall leading to a well-appointed utility room and cloakroom, all finished with Kahrs engineered wood flooring (with the show home featuring premium Woodpecker flooring). Every detail has been considered to create a

clean, modern aesthetic that sets the tone for the rest of the home.

The first floor is dedicated to an impressive open-plan kitchen, living and dining area, extending over 40ft. Full-height glazing floods the space with natural light, while the high-specification kitchen features Quartz worktops, breakfast bar, and integrated appliances from top-tier brands. The layout is designed for both everyday living and entertaining, offering a seamless flow and a sense of openness. On the second floor, the principal bedroom enjoys a luxurious feel with built-in wardrobes and a private en-suite fitted with Sonas premium sanitaryware. Two further bedrooms sit to the front of the property, each finished to the same high standard and served by a stylish family bathroom featuring contemporary fittings and elegant tiling.

Throughout the home, the interiors are enhanced by underfloor heating, powered by an efficient air source heat pump, alongside a mechanical ventilation system and solar panels, ensuring comfort and sustainability. The fully electric design removes the need for gas, contributing to a quieter, cleaner and more energy-efficient environment.

Every element of the interior has been curated to deliver a refined, modern coastal home with exceptional attention to detail and a premium finish throughout

### Outside

The development is set directly on the

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seafront, each designed to maximise natural light and uninterrupted coastal views. Every property benefits from a private driveway and integral garage, with a sleek modern façade and expansive glazing. To the rear, beautifully landscaped south-facing tiered gardens overlook the Widewater Lagoon and open out to sweeping beach and sea vistas. At the top of each home, a private roof terrace provides an elevated space to enjoy panoramic coastal scenery, creating a rare and luxurious seafront living experience.

### Lifestyle

If you're after an authentic coastal village experience; Lancing may be the destination for you. Nestled between the South Downs and the English Channel, this charming village offers a tranquil setting without sacrificing convenience. Its prime location affords quick access to major towns like Worthing and Brighton and cities such as London and Chichester. Boasting a shingle and sand beach stretching almost ten miles, Lancing is a haven for lovers of the sea, who can often be found doing water sports, walking along the shoreline, or simply watching the world go by. And with an impressively wide variety of homes to suit different tastes and budgets, moving to Lancing could be the next chapter of your seaside story.

Entrance Hall

Utility (3.58m x 3.28m (11'9" x 10'9"))

Shower Room (3.00m x 1.22m (9'10" x 4'))

Stairs to First Floor

Kitchen Living Diner (12.40m x 5.18mmax (40'8" x 17'max))

Stairs to Second Floor

Bedroom (5.16m x 2.82m (16'11" x 9'3"))

Balcony

Ensuite (2.72m x 1.60m (8'11" x 5'3"))

Bedroom (3.28m x 2.77m (10'9" x 9'1"))

Bedroom (3.28m x 2.29m (10'9" x 7'6"))

Family Bathroom

Stairs to Top Floor

Roof-Top Terrace

South Facing Garden

Off Road Parking

Integral Garage (6.02m x 2.79m (19'9" x 9'2"))

Council Tax: TBC

EPC: TBC

Plot 3 & 4= Four Bedrooms 192.2sqm / 2,145sq.ft -£825,000



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Floor Plan Brighton Road

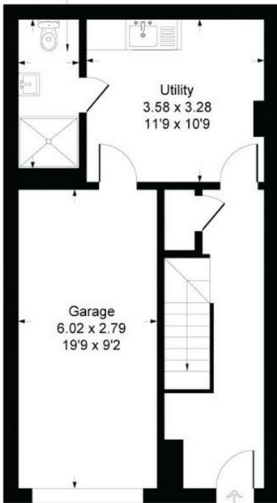
104-106 Brighton Road, BN15 8NB

Approximate Gross Internal Floor Area = 156.62 sq m / 1686 sq ft

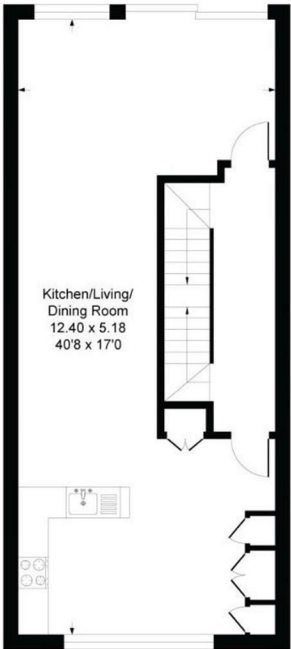
Garage Area = 16.81 sq m / 181 sq ft

Total Area = 173.43 sq m / 1867 sq ft

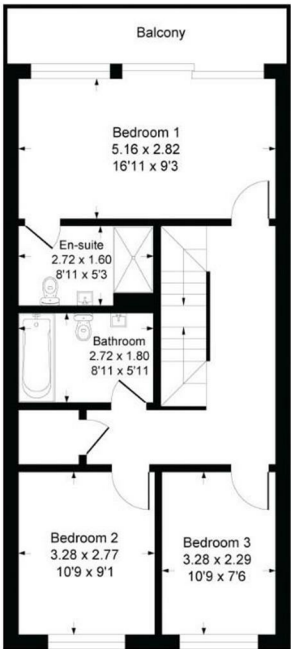
Shower Room  
3.00 x 1.22  
9'10" x 4'0"



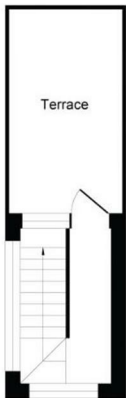
Ground Floor



First Floor



Second Floor



Third Floor

Illustration for identification purposes only, measurements are approximate, not to scale



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
England & Wales	EU Directive 2002/91/EC	

The information provided about this property does not constitute or form any part of an offer or contract, nor may it be regarded as representations. All interested parties must verify accuracy and your solicitor must verify tenure/lease information, fixtures and fittings and, where the property has been extended/converted, planning/building regulation consents. All dimensions are approximate and quoted for guidance only as are floor plans which are not to scale and their accuracy cannot be confirmed. References to appliances and/or services does not imply that they are necessarily in working order or fit for the purpose.

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